

SEE AND BE SEEN

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CENTRAL  
PLACE  
TOWER

1201 WILSON BOULEVARD | ARLINGTON, VA 22209



**NEW**

# HEIGHTS

Central Place Tower elevates the significance of the Rosslyn skyline, soaring 31 stories as the tallest tower in the Metropolitan DC area. The 560,000-square-foot jewel box office tower offers a first-of-its-kind experience: a sky-high observation deck and lounge featuring panoramic vistas of Washington DC and Northern Virginia. In addition to the unsurpassed views and headquarter-quality finishes, Central Place Tower enriches the Rosslyn neighborhood through its multi-use plaza, exciting new retail, and regular programming of community events.

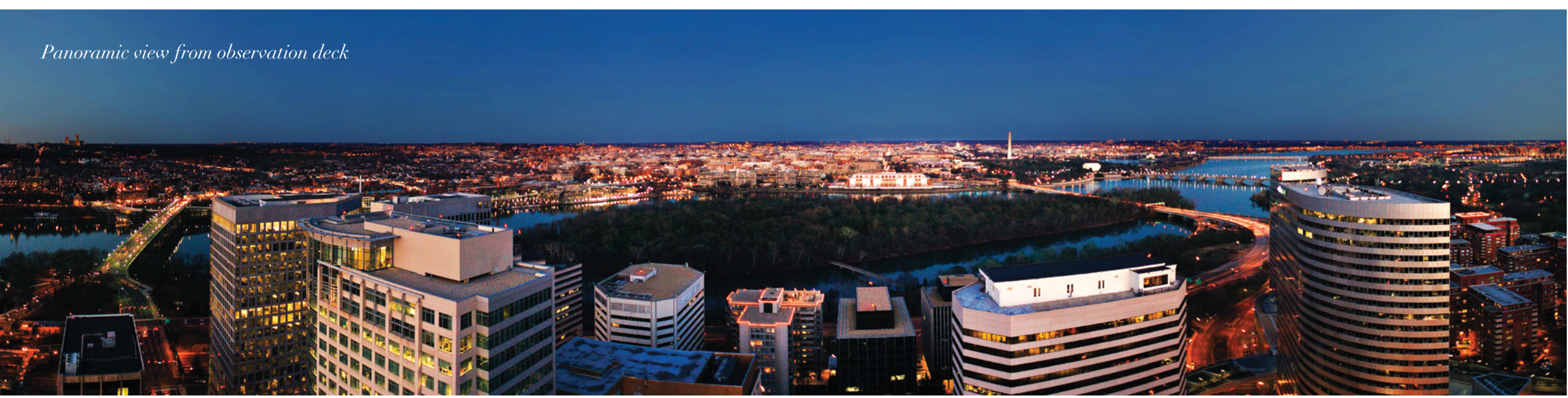
DYNAMIC

# IMPRESSION



Designed by international architecture firm, Beyer Blinder Belle, Central Place Tower is a powerful presence and iconic landmark in the heart of Rosslyn. Its two-story lobby is outfitted with the finest materials—bright, white Colorado-cut Calacatta marble with trophy-grade, stainless steel satin accents throughout. The focal point of this impressive space is a floor-to-ceiling video wall, seamlessly displaying custom digital art, for an experience exclusive to Central Place Tower.

*Panoramic view from observation deck*



Central Place Tower serves as an unrivaled destination for tenants and visitors alike with 360° treetop views of the Washington DC, Virginia, and Maryland skylines. The tower's one-of-a-kind observation deck and lounge provides an invaluable amenity which can be utilized for a memorable corporate event, spectacular happy hour, or shared with visitors of the Nation's Capital.

- 12,000 square feet of unobstructed observation space
- Floor-to-ceiling glass
- Expansive outdoor terrace
- Lounge area offering food and beverages



# MONUMENTAL

# ALLURE

# GOLD

# STANDARD



Inspiring spaces, panoramic views, and luxurious conveniences are the hallmarks of Central Place Tower.

- 31 stories - 390 feet tall
- 360° of floor to ceiling glass
- Energy-efficient building - awarded LEED Platinum
- Exclusive 2,700-square-foot terrace on the 27th floor
- 2,500-square-foot best-in-class fitness center with locker rooms
- Secure bike storage
- 16,000-square-foot outdoor plaza

560,000 SF  
OFFICE TOWER

390' TALL | 31 STORIES

18,500 - 23,000 SF  
HIGHLY EFFICIENT  
FLOOR PLATES

9'4" FINISHED  
CEILING HEIGHTS

10' WINDOW  
HEIGHTS

30' X 30'  
COLUMN SPACING

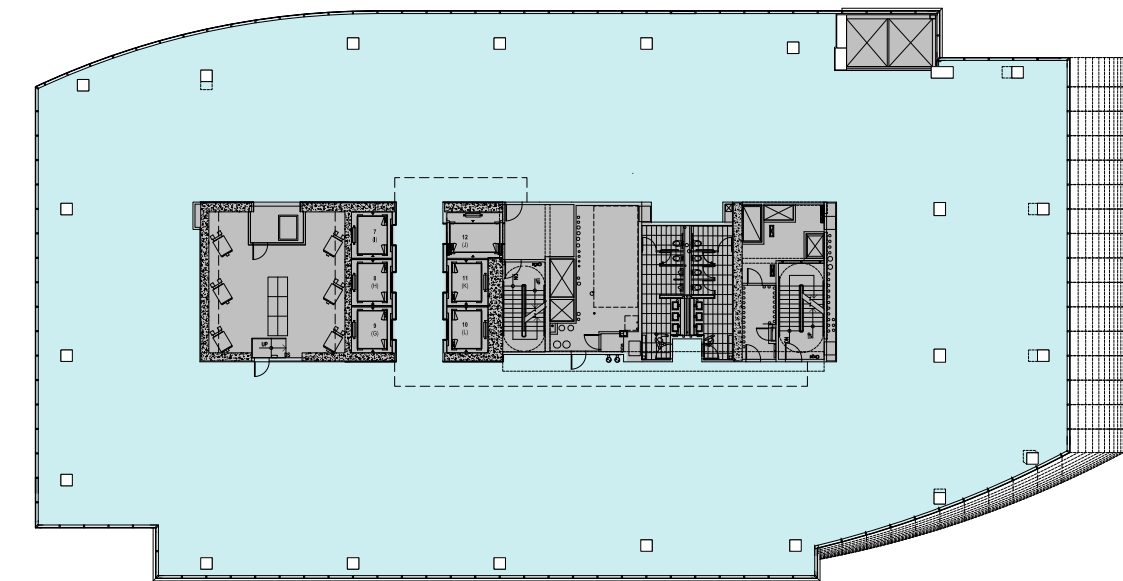
FLOOR TO CEILING  
GLASS CURTAIN WALL

Observation Deck	
Convene	30
Convene	29
WeWork	28
WeWork	27
WeWork	26
WeWork	25
	24
10,213 RSF	23
22,525 RSF	22
6,593 RSF	21
	20
	19
	18
	17
	16
	15
	14
	13
	12
	11
	10
	9
First floor of office	8
P	7
P	6
P	5
P	4
Lobby	3
P	2
P	1

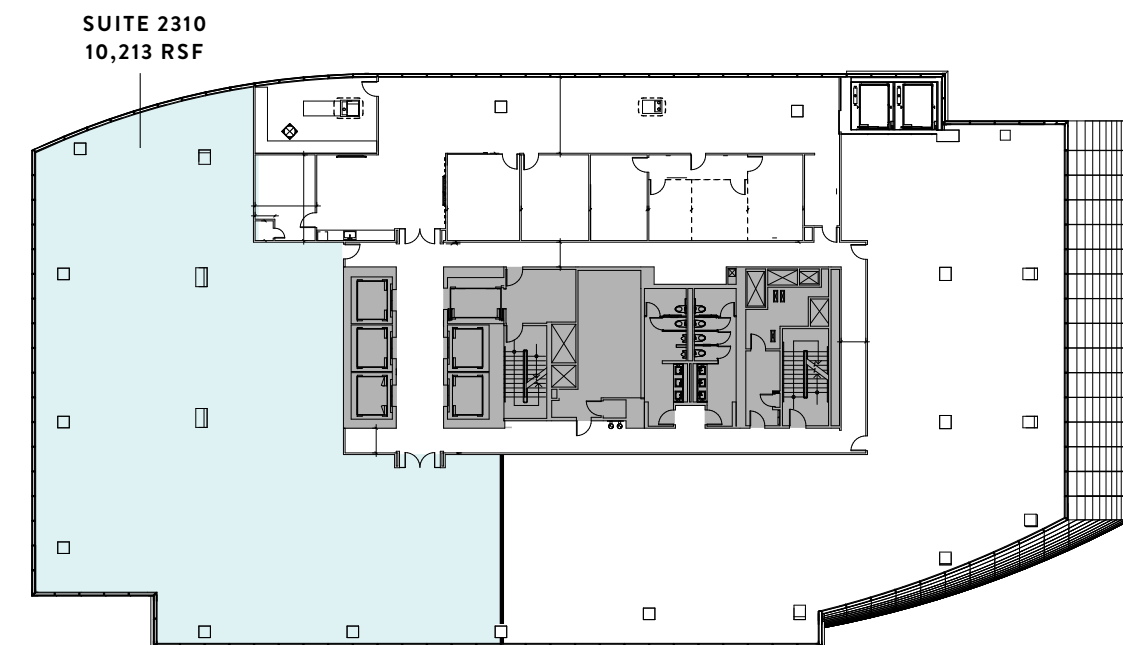
Available  
Space



**FLOOR 21**  
Spec Suite  
Available Immediately



**FLOOR 22**  
22,525 RSF  
Available Immediately



**FLOOR 23**  
10,213 RSF  
Available Immediately



# VIBRANT

# CENTER

Central Place Plaza comprises 16,000 square feet of impeccably landscaped and hardscaped outdoor public space adjacent to Central Place Tower. A warm and active gateway to the Rosslyn Metro Station, the plaza boasts 45,000 square feet of exciting new shopping and restaurants which create a dynamic community center in Arlington. Dramatic water features, ample seating, and glass canopy focal point create a vibrant meeting place—host to a robust program of regular community events such as farmers markets, yoga, and concerts—in the heart of Rosslyn.

sweetgreen

THE *little* BEET

  
**Nando's**  
 PERI-PERI CHICKEN

  
**COMPASS**  
 COFFEE

**OPEN**  
**ROAD**

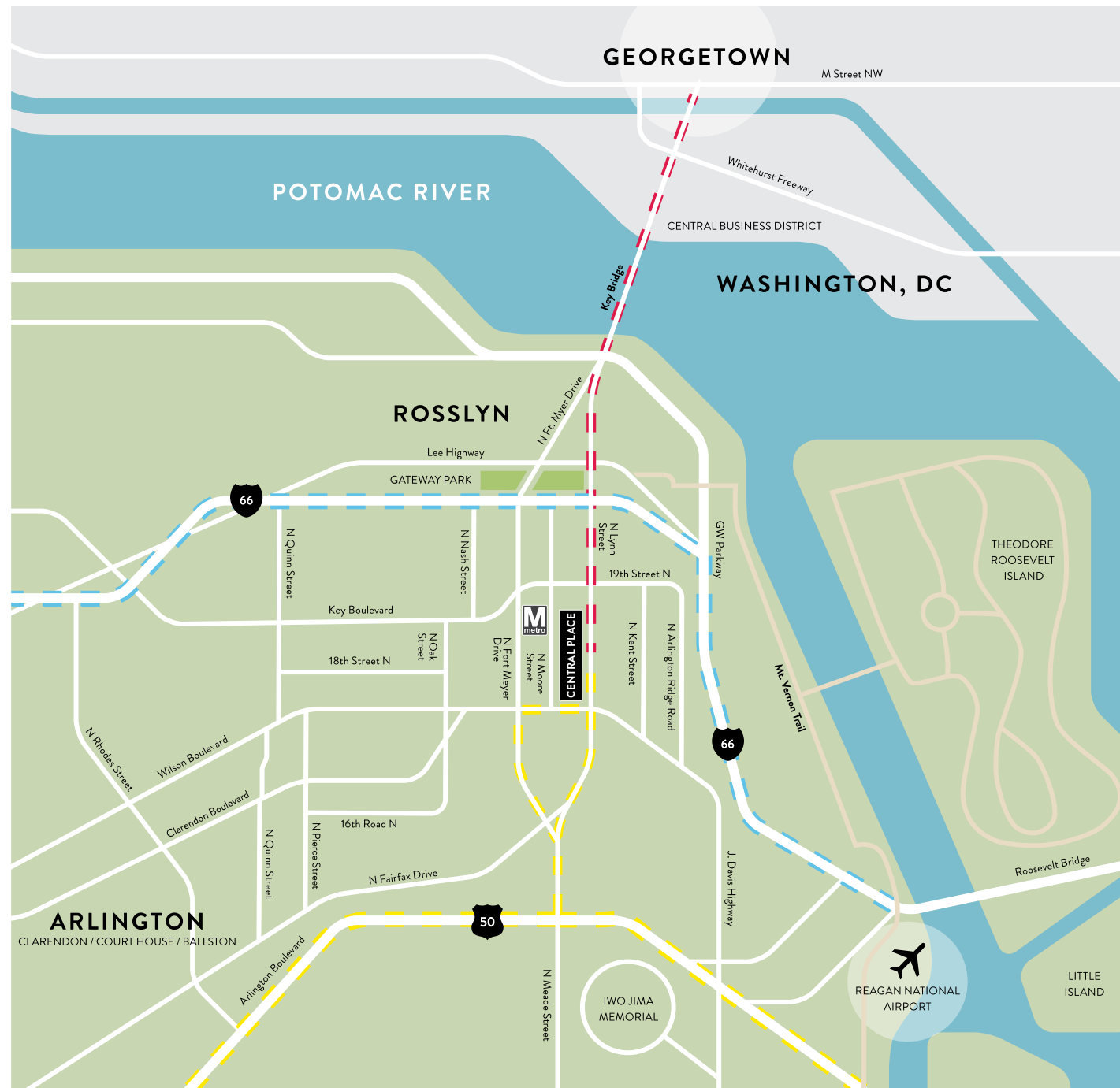
**cava**  
 mezze

  
 Bethesda Bagels  
 BETHESDA BAGELS

**CG SOCIAL**  
**EATERY**

# ALL ACCESS

## ROSSLYN'S ELITE WORKFORCE



**41%** ARE BETWEEN 25 & 34 YEARS OLD










**81%** HAVE A COLLEGE DEGREE OR HIGHER



**87%** ARE WHITE-COLLAR PROFESSIONALS

### SHORT WALK TO GEORGETOWN

-  METRO LINES: BLUE, ORANGE & SILVER
-  5 MAJOR ROAD NETWORKS (Rt. 9, Rt. 50, Rt. 110, I-66, GW Parkway)
-  EXTENSIVE NETWORK OF BIKE & JOGGING TRAILS

-  4 MINUTES TO DOWNTOWN DC
-  10 MINUTE WALK TO GEORGETOWN
-  10 MINUTES TO REAGAN NATIONAL AIRPORT
-  11 MINUTES TO UNION STATION

Rosslyn is a hot spot for educated millennials—a thriving live-work-play community only a few minutes' walk to Georgetown's boutique shopping district and waterfront. Proximate to five major road networks, a plethora of public transportation options, Reagan National Airport, and an extensive series of biking and jogging trails, access to and from Central Place epitomizes convenience.





## JBG SMITH

JBG SMITH is an S&P 400 company that owns, operates, invests in, and develops a dynamic portfolio of high-quality mixed-use properties in and around Washington, DC. Through an intense focus on placemaking, JBG SMITH cultivates vibrant, amenity-rich, walkable neighborhoods throughout the Capital region, including **National Landing** where it now serves as the exclusive developer for Amazon's new headquarters. JBG SMITH's operating portfolio currently comprises approximately 18 million square feet of high-quality office, multifamily and retail assets, 98% of which are Metro-served. It also maintains a robust future pipeline encompassing approximately 18.7 million square feet of mixed-use development opportunities. For more information on JBG SMITH please visit [www.jbgsmith.com](http://www.jbgsmith.com).



## CBRE

[WWW.CENTRALPLACETOWER.COM](http://WWW.CENTRALPLACETOWER.COM)

JILL GOUBEAUX | [JILL.GOUBEAUX@CBRE.COM](mailto:JILL.GOUBEAUX@CBRE.COM)

TERRY REILEY | [TERRY.REILEY@CBRE.COM](mailto:TERRY.REILEY@CBRE.COM)

CAROLINE BOUR | [CAROLINE.BOUR@CBRE.COM](mailto:CAROLINE.BOUR@CBRE.COM)

ANNA FAKTOROW | [ANNA.FAKTOROW@CBRE.COM](mailto:ANNA.FAKTOROW@CBRE.COM)

LUIS GONZALEZ RIOS | [LUIS.GONZALEZRIOS@CBRE.COM](mailto:LUIS.GONZALEZRIOS@CBRE.COM)